



**BRADFORD
& HOWLEY**
HARPENDEN | MARSHALSWICK | ST ALBANS

Townsend Drive, St. Albans, AL3 5RQ
Asking Price £2,000,000

A rare opportunity to acquire a site with full planning permission to build a detached family home enjoying approx. 5,600sqft of living space located in one of the city's most sought after prime residential locations.

There is currently a 2,274sqft four-bedroom detached house on the site which will need to be demolished prior to the build.

The planning permission has been approved and building regulations have been signed off. Full details can be found on the St Albans council website, planning application reference - 5/2023/0859.

The approved plans provide flexible accommodation over three floors and currently include a kitchen/breakfast room, four reception rooms, utility room, shower room, cloakroom, and a study on the ground floor.

On the first floor are five double bedrooms all with their own en-suite and four of the rooms with their own dressing room.

On the top floor are two additional rooms that could be used as bedrooms or reception rooms, a bathroom and a storeroom.

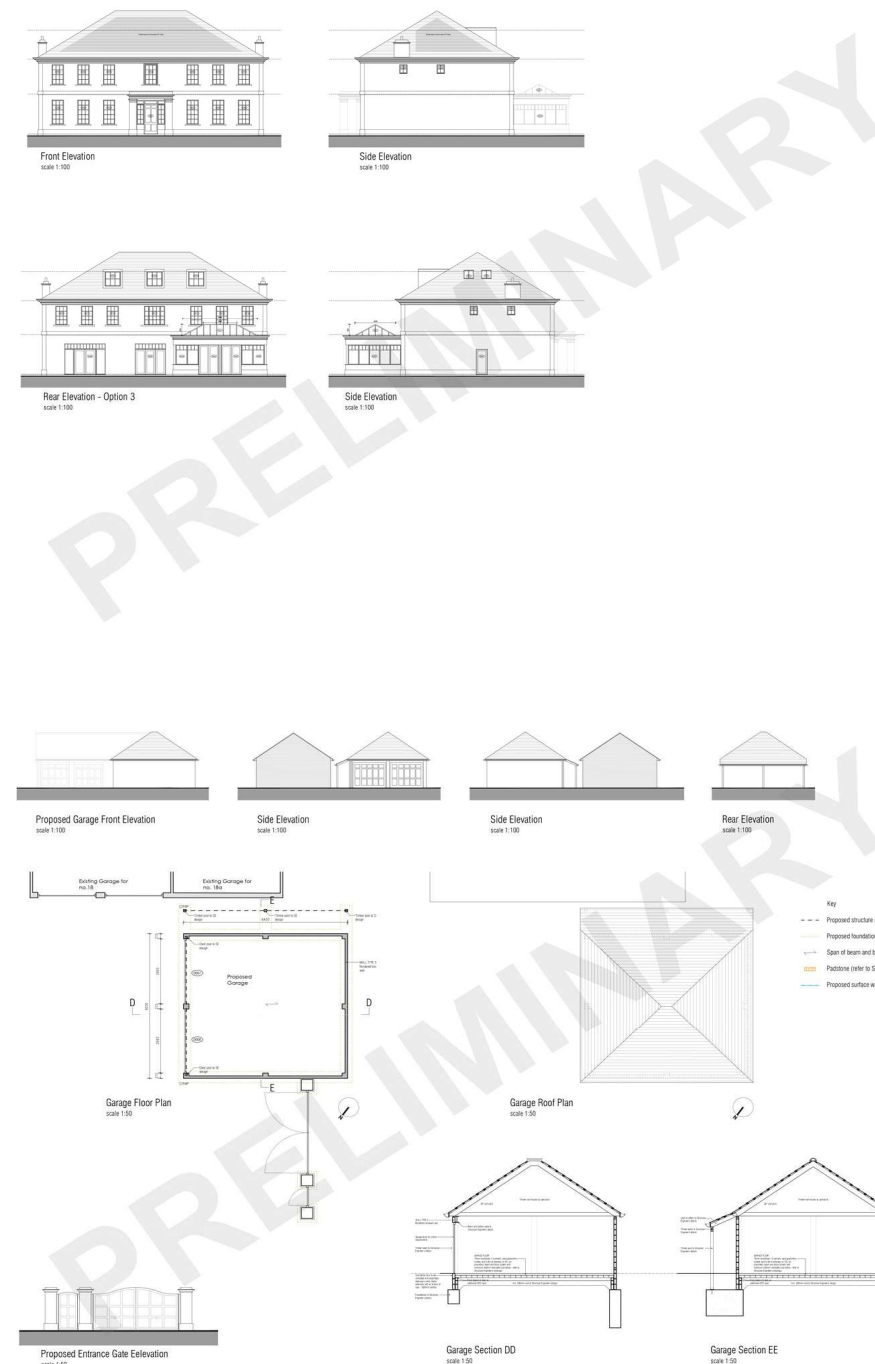
The plot measures just under 0.4 acres, has a large driveway for multiple cars, a double garage plus an additional double garage. This opportunity is offered to the market with NO ONWARD CHAIN.

Townsend Drive is a private road located close by to the highly respected schooling and is within walking distance of the city centre and the mainline station with fast trains into London St Pancras and beyond. All major airports are easily accessible via the M1 and the M25.

There are plenty of green spaces and wonderful walks on the doorstep at Bernards Heath and surrounding woodland making this the perfect location for a buyer seeking a peaceful retreat.

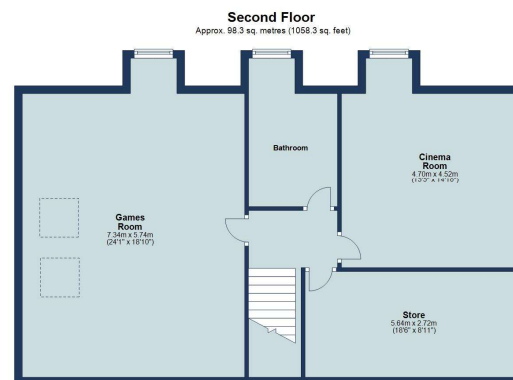
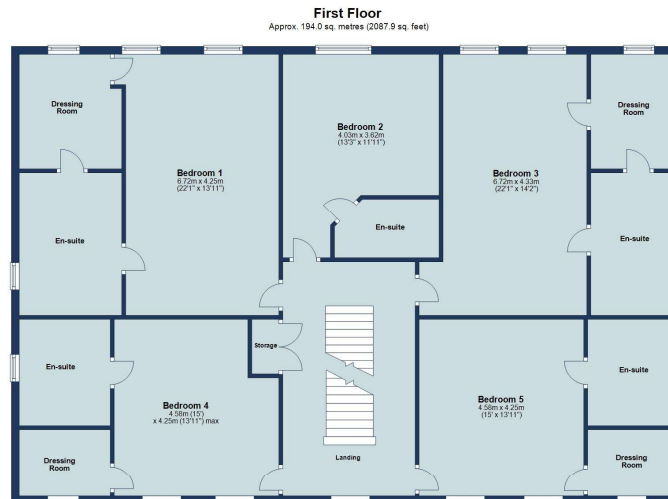
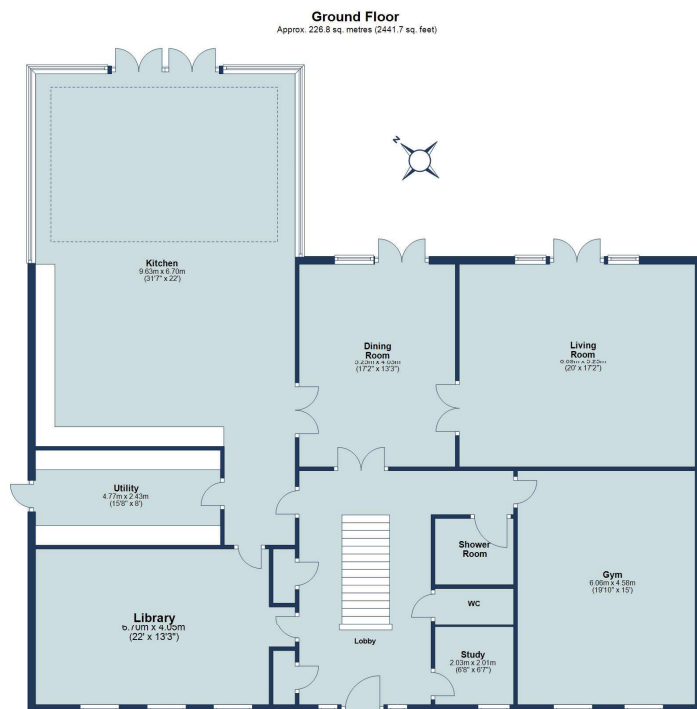
DISCLAIMER - The lead image represents a computer-generated image of the property design.

Tenure: Freehold
Council Tax Band: G
EPC Rating: To be confirmed.









Total area: approx. 519.1 sq. metres (5587.9 sq. feet)

Floor plan is for marketing purposes only and is to be used as a guide.
This is a proposed design and actual dimensions may differ once constructed.
Plan produced using PlanIt.

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